



71 St Edmunds Church Street, Salisbury, Wiltshire, SP1 1EF

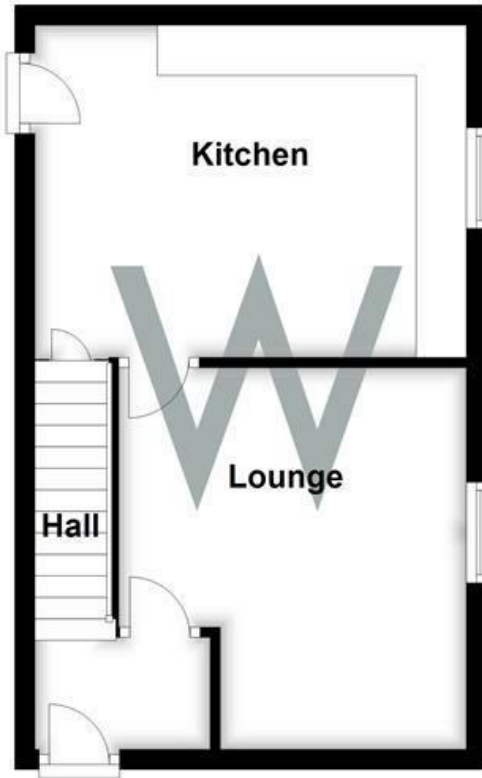
*** VIEWINGS ON HOLD DUE TO HIGH DEMAND ***

- CITY CENTRE LOCATION
- THREE STOREY TOWN HOUSE
- THREE BEDROOMS
- GAS CENTRAL HEATING
- PERMIT PARKING
- NO GARDEN
- EPC - D
- COUNCIL TAX BAND - D

£950 PCM

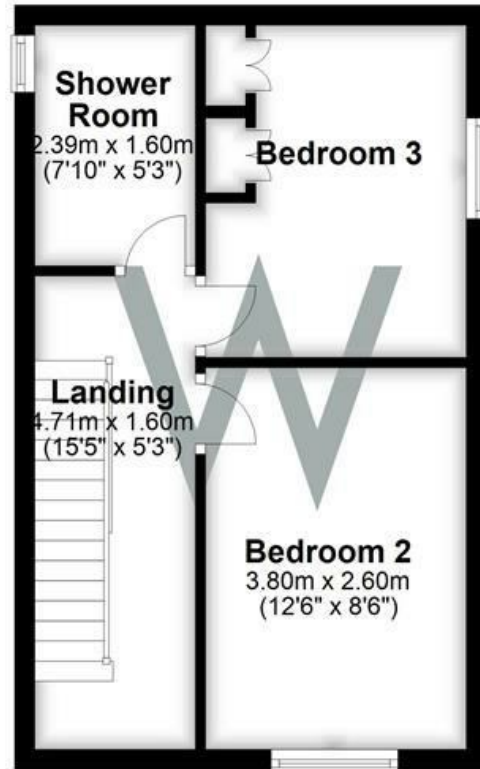
Ground Floor

Approx. 30.9 sq. metres (333.0 sq. feet)



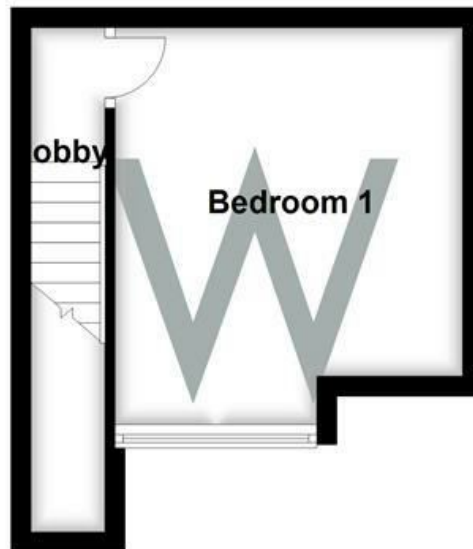
First Floor

Approx. 30.9 sq. metres (333.0 sq. feet)



Second Floor

Approx. 17.0 sq. metres (183.4 sq. feet)



Total area: approx. 78.9 sq. metres (849.4 sq. feet)

WHITES

Castle Chambers, 47 Castle Street, Salisbury,
Wiltshire, SP1 3SP
Tel: 01722 336422/Option 2
www.hwwhite.co.uk
email: lettings-management@hwwhites.co.uk

Energy Efficiency Rating	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		
		EU Directive 2002/91/EC

Environmental Impact (CO ₂) Rating	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
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Not environmentally friendly - higher CO ₂ emissions		
England & Wales		
		EU Directive 2002/91/EC